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R-846

STATE OF HAWAII  
BUREAU OF CONVEYANCES  
RECORDED  
MAY 27, 2009 01:00 PM

Doc No(s) 2009-081286



/s/ NICKI ANN THOMPSON  
REGISTRAR

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Schneider Tanaka Radovich Andrew & Tanaka, LLLC  
1100 Alakea Street, Suite 2100  
Honolulu, Hawaii 96813  
Telephone: (808)792-4200

Total Pages: 31

Tax Map Key Nos.: (1) 2-4-6: 17 and 18

**FIRST AMENDMENT TO  
DECLARATION OF CONDOMINIUM PROPERTY REGIME OF  
HOLOMUA  
(AMENDMENT AND RESTATEMENT OF CONDOMINIUM MAP NO. 4776)**

THIS FIRST AMENDMENT TO DECLARATION OF CONDOMINIUM PROPERTY REGIME OF HOLOMUA (AMENDMENT AND RESTATEMENT OF CONDOMINIUM MAP NO. 4776) (this "First Amendment"), is made as of May 27, 2009, by KRC PARTNERS LLC, a Hawaii limited liability company ("Declarant"), the address of which is 615 Piikoi Street, Suite 808, Honolulu, Hawaii 96814.

**RECITALS:**

A. By Declaration of Condominium Property Regime of Holomua, dated February 18, 2009, recorded in the Bureau of Conveyances of the State of Hawaii (the "Bureau") as Document No. 2009-024196 (the "Declaration"), and pursuant to Hawaii Revised Statutes Chapter 514B, Declarant submitted certain land and improvements, as described in the Declaration, to a condominium property regime known as Holomua (the "Project"), with the plans therefor filed in the Bureau as Condominium Map No. 4776 (the "Condominium Map").

B. Section R.1 of the Declaration provides, in relevant part, that "Except as otherwise expressly provided in this Declaration or in the Act, this Declaration and/or the Condominium Map may be amended by the affirmative vote and/or written consent of the Owners holding not less than 67% of the Common Interest of the Project, and shall be effective only upon the Recording of an instrument setting forth such amendment and vote and/or consent, duly executed by all of the consenting Owners or any two officers of the Association; . . . ."

C. As of the date of this First Amendment, Declarant is the Owner of 100% of the Common Interest of the Project.

D. Pursuant to Section R.1 of the Declaration, Declarant desires to amend the Declaration and to amend and restate the Condominium Map as set forth in this First Amendment.

E. Unless otherwise defined in this First Amendment, all capitalized terms (other than those at the beginning of sentences) shall have the definitions given to them in the Declaration.

**AMENDMENT TO THE DECLARATION:**

NOW, THEREFORE, in consideration of the Recitals, Declarant hereby amends the Declaration as follows:

The chart on pages 4 through 8 of Exhibit "B" to the Declaration that lists, among other things, the parking stall(s) assigned to the Units is deleted in its entirety and replaced with Exhibit "1" attached to this First Amendment.

**AMENDMENT AND RESTATEMENT OF THE CONDOMINIUM MAP:**

NOW, THEREFORE, in consideration of the Recitals, Declarant hereby amends and restates the Condominium Map as follows:

To reflect changes in the configuration of parking stalls and to change which Units are "accessible" and "adaptable", Sheets 1 through 24 of the Condominium Map (plus the cover sheet) (being all of the sheets) are deleted in their entirety and replaced with Sheets 1 through 23 (plus the cover sheet) being filed concurrently with the Recording of this First Amendment, reduced copies of which are attached to this First Amendment as Exhibit "2".

Except as amended by this First Amendment, the Declaration and the Condominium Map shall continue in full force and effect as first written.

Declarant has executed this First Amendment as of the date first referenced above.

KRC PARTNERS LLC,  
a Hawaii limited liability company

By: KRC Partners Holdings LLC,  
a Hawaii limited liability company  
Its: Manager

By   
Name: David L. Bierwert  
Title: Manager

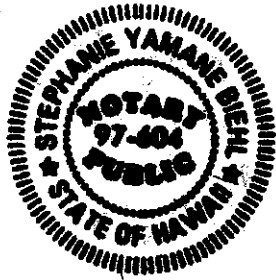
Declarant

STATE OF HAWAII )  
 ) SS.  
CITY AND COUNTY OF HONOLULU )

On this 27th day of May, 2009, before me personally appeared David L. Bierwert, to me personally known, who, being by me duly sworn or affirmed, did say that such person(s) executed the foregoing instrument as the free act and deed of such person(s), and if applicable in the capacities shown, having been duly authorized to execute such instrument in such capacities.

Further, I certify, as of this date, as follows:

Date of Document: May 27, 2009  
Number of Pages: 31  
Document Description: First Amendment to Declaration of  
Condominium Property Regime of Holomua (Amendment  
and Restatement of Condominium Map No. 4776)  
Jurisdiction/Judicial Circuit Where Signed: First Circuit



*Stephanie Yamane Biehl*  
Type or print name: Stephanie Yamane Biehl  
Date: May 27, 2009  
Notary Public, State of Hawaii  
My commission expires: October 19, 2011

**EXHIBIT "1"**

**UNIT SCHEDULE:**

Unit No.	Unit Type	Approx. Net Interior Floor Area* (Sq. Ft.)	Parking Stall(s)
801	01	546	631c
802	02	354	628c
803	03	693	421
804	804	739	422
805	05	701	512
806	806	744	426
807	07	619	629c
808	808	752	427
809	09	524	630c
810	10	513	331c
811	11	705	513
901	01	546	618c
902	02	354	617c
903	03	693	416
904	04	739	109HC c
905	05	701	106HC
906	06	744	420
907	07	619	611c
908	08	752	413
909	09	524	108HC c
910	10	513	515
911	11	705	514
1001	01	546	610c
1002	02	354	609c
1003	03	693	412
1004	04	739	107HC
1005	05	701	105HC
1006	06	744	414
1007	07	619	534
1008	08	752	415
1009	09	524	103HC c
1010	10	513	218c
1011	11	705	516
1101	01	546	532
1102	02	354	528c
1103	03	693	405
1104	04	739	406
1105	05	701	520
1106	06	744	407
1107	07	619	529c
1108	08	752	408
1109	09	524	530c
1110	10	513	217c
1111	11	705	521

Unit No.	Unit Type	Approx. Net Interior Floor Area* (Sq. Ft.)	Parking Stall(s)
1201	01	546	531c
1202	02	354	519c
1203	03	693	401
1204	04	739	402
1205	05	701	522
1206	06	744	403
1207	07	619	518c
1208	08	752	404
1209	09	524	517c
1210	10	513	211c
1211	11	705	526
1401	01	546	511c
1402	02	354	510c
1403	03	693	327
1404	04	739	332
1405	05	701	527
1406	06	744	333
1407	07	619	509c
1408	08	752	334
1409	09	524	508
1410	10	513	210c
1411	11	705	601
1501	01	546	507
1502	02	354	506
1503	03	693	320
1504	04	739	102HC c
1505	05	701	104HC c
1506	06	744	322
1507	07	619	505
1508	08	752	326
1509	09	524	101HC c
1510	10	513	504
1511	11	705	602
1601	01	546	503
1602	02	354	502
1603	03	693	312
1604	04	739	314
1605	05	701	603
1606	06	744	315
1607	07	619	501
1608	08	752	316
1609	09	524	434
1610	10	513	209c
1611	11	705	604
1701	01	546	433
1702	02	354	432
1703	03	693	313
1704	04	739	533

Unit No.	Unit Type	Approx. Net Interior Floor Area* (Sq. Ft.)	Parking Stall(s)
1705	05	701	321
1706	06	744	307
1707	07	619	428c
1708	08	752	308
1709	09	524	429c
1710	10	513	306
1711	11	705	605
1801	01	546	430c
1802	02	354	431c
1803	03	693	232
1804	04	739	234
1805	05	701	606
1806	06	744	304
1807	07	619	419c
1808	08	752	305
1809	09	524	418c
1810	10	513	233
1811	11	705	607
1901	01	546	222
1902	02	354	417c
1903	03	693	226
1904	04	739	227
1905	05	701	608
1906	06	744	301
1907	07	619	411c
1908	08	752	302
1909	09	524	410c
1910	10	513	303
1911	11	705	612
2001	01	546	213
2002	02	354	409c
2003	03	693	214
2004	04	739	216
2005	05	701	613
2006	06	744	215
2007	07	619	328c
2008	08	752	220
2009	09	524	329c
2010	10	513	221
2011	11	705	614
2101	01	546	208
2102	02	354	330c
2103	03	693	207
2104	04	739	212
2105	05	701	615
2106	06	744	201
2107	07	619	319c
2108	08	752	425

Unit No.	Unit Type	Approx. Net Interior Floor Area* (Sq. Ft.)	Parking Stall(s)
2109	09	524	318c
2110	10	513	206
2111	11	705	616
2201	01	546	205
2202	02	354	317c
2203	03	693	204
2204	04	739	424
2205	05	701	620
2206	06	744	423
2207	07	619	311c
2208	08	752	325
2209	09	524	310c
2210	10	513	203
2211	11	705	621
2301	01	546	124
2302	02	354	309c
2303	03	693	125
2304	04	739	324
2305	05	701	622
2306	06	744	323
2307	07	619	228c
2308	08	752	225
2309	09	524	229c
2310	10	513	202
2311	11	705	632
2401	01	546	121
2402	02	354	230c
2403	03	693	123
2404	04	739	224
2405	05	701	633
2406	06	744	223
2407	07	619	231c
2408	08	752	120
2409	09	524	219c
2410	10	513	122
2411	11	705	634

\*The approximate net interior floor area of each Unit as set forth above is measured from the interior surface of the Unit's perimeter walls and includes all of the walls, columns, shafts and partitions within its perimeter walls, whether load-bearing or non-load-bearing and whether among the Common Elements or not. THE AREAS SHOWN ARE APPROXIMATE ONLY. THE ACTUAL AREA OF A PARTICULAR UNIT AS BUILT MAY VARY SOMEWHAT FROM THE FIGURE SHOWN ABOVE.

**Note:** If a parking stall is marked with a "c" on the list above, then it is a parking stall that is "compact" in size. If a parking stall is marked with an "HC" on the list above, then it is a parking stall that is handicapped accessible. A parking stall not marked with a "c" or an "HC" on the list above is a parking stall that is regular (or "standard") in size. Any additional "c" or "HC" markings appearing on the list above are for informational purposes only and do not constitute part of the legal identification of a parking stall, the sole means of legal identification being the numerical designation of the parking stall.

# HOLOMUA

## CONDOMINIUM MAP DRAWINGS

1315 KALAKAUA AVENUE  
HONOLULU, HAWAII  
TMK: 2-4-06:17 & 18

FOR  
KRC PARTNERS LLC  
615 PIKOI ST., SUITE 808  
HONOLULU, HI 96814

OWNER:  
KRC PARTNERS LLC

DESIGN TEAM  
ARCHITECT - KAZU YATO, AIA & ASSOCIATES, INC.  
STRUCTURAL ENGINEER- LIBBEY HEYWOOD, INC.  
CIVIL ENGINEER - ENGINEERING DYNAMICS CORP.  
LANDSCAPE ARCHITECT - RANDAL FUJIMOTO  
MECHANICAL ENGINEER - MECHANICAL ENTERPRISES, INC.  
ELECTRICAL ENGINEER - ELECTECH HAWAII, INC.

### EXHIBIT "2"

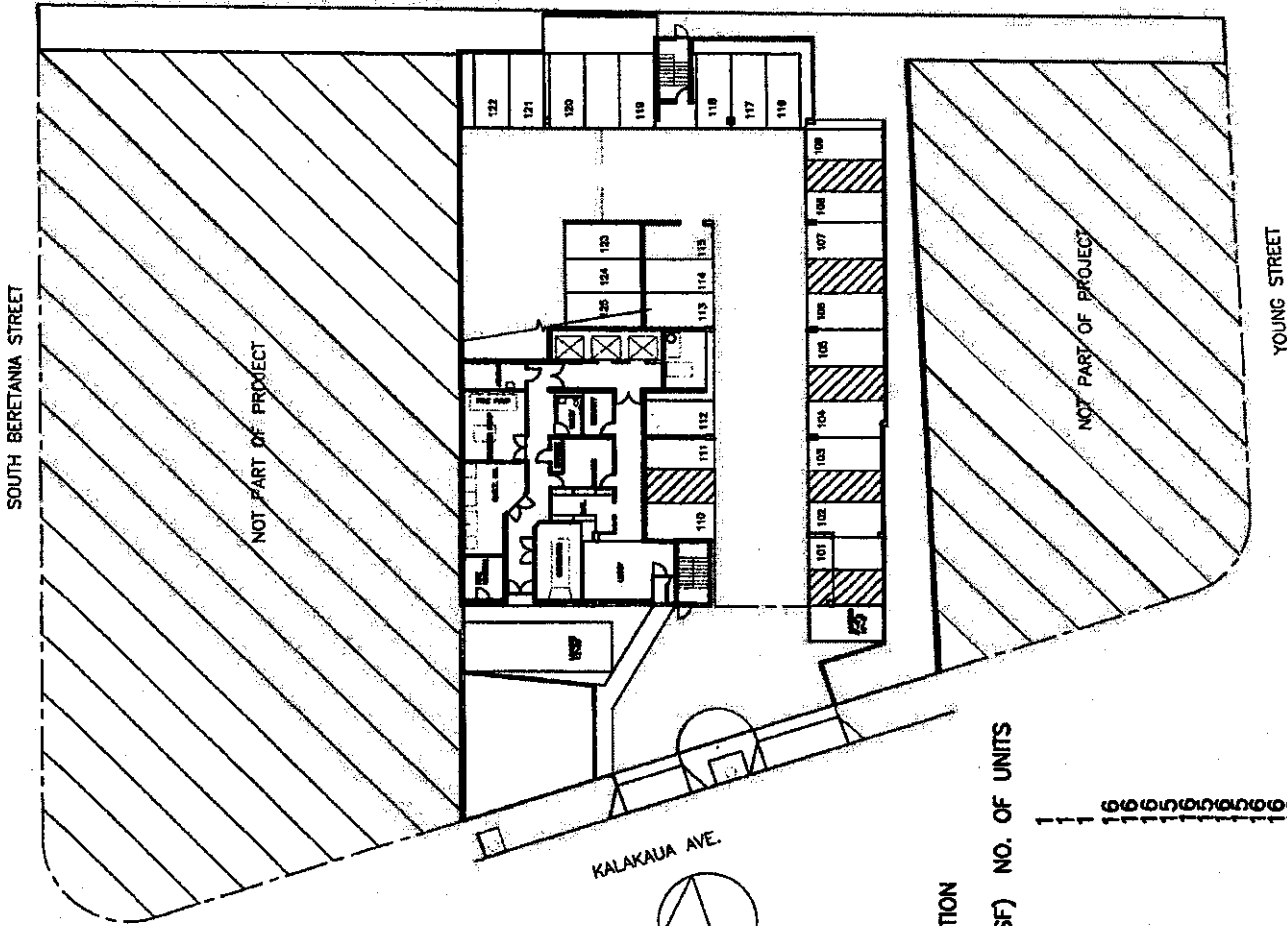
#### SCHEDULE OF DRAWINGS

- 1 - SITE PLAN
- 2 - GROUND FLOOR PLAN
- 3 - P2 PARKING LEVEL PLAN
- 4 - P3 PARKING LEVEL PLAN
- 5 - P4 PARKING LEVEL PLAN
- 6 - P5 PARKING LEVEL PLAN
- 7 - P6 PARKING LEVEL PLAN
- 8 - P7 PARKING LEVEL PLAN
- 9 - 8TH FLOOR PLAN
- 10 - TYPICAL FLOOR PLAN - FLOORS 9-12 & 14-24
- 11 - 8TH FLOOR UNIT PLAN - UNIT 804
- 12 - 8TH FLOOR UNIT PLAN - UNIT 806
- 13 - 8TH FLOOR UNIT PLAN - UNIT 808
- 14 - TYPICAL FLOOR UNIT PLANS - UNIT TYPES 01 & 02
- 15 - TYPICAL FLOOR UNIT PLANS - UNIT TYPES 03 & 04
- 16 - TYPICAL FLOOR UNIT PLANS - UNIT TYPES 05 & 06
- 17 - TYPICAL FLOOR UNIT PLANS - UNIT TYPES 07 & 08
- 18 - TYPICAL FLOOR UNIT PLANS - UNIT TYPES 09 & 10
- 19 - TYPICAL FLOOR UNIT PLAN - UNIT TYPE 11
- 20 - ACCESSIBLE UNIT FLOOR PLANS - UNITS 904, 905, 1004, 1005, 1504 & 1505
- 21 - ACCESSIBLE UNIT FLOOR PLANS - UNITS 908, 1008, & 1508
- 22 - EXTERIOR ELEVATIONS - WEST & SOUTH
- 23 - EXTERIOR ELEVATIONS - EAST & NORTH



CONDO MAP - HOLOMUA - SHEET 1 - SITE PLAN

PROJECT DATA  
 TMK: 2-4-06:17 & 18  
 LOT AREA=21,339SF  
 ZONE= BMX-3

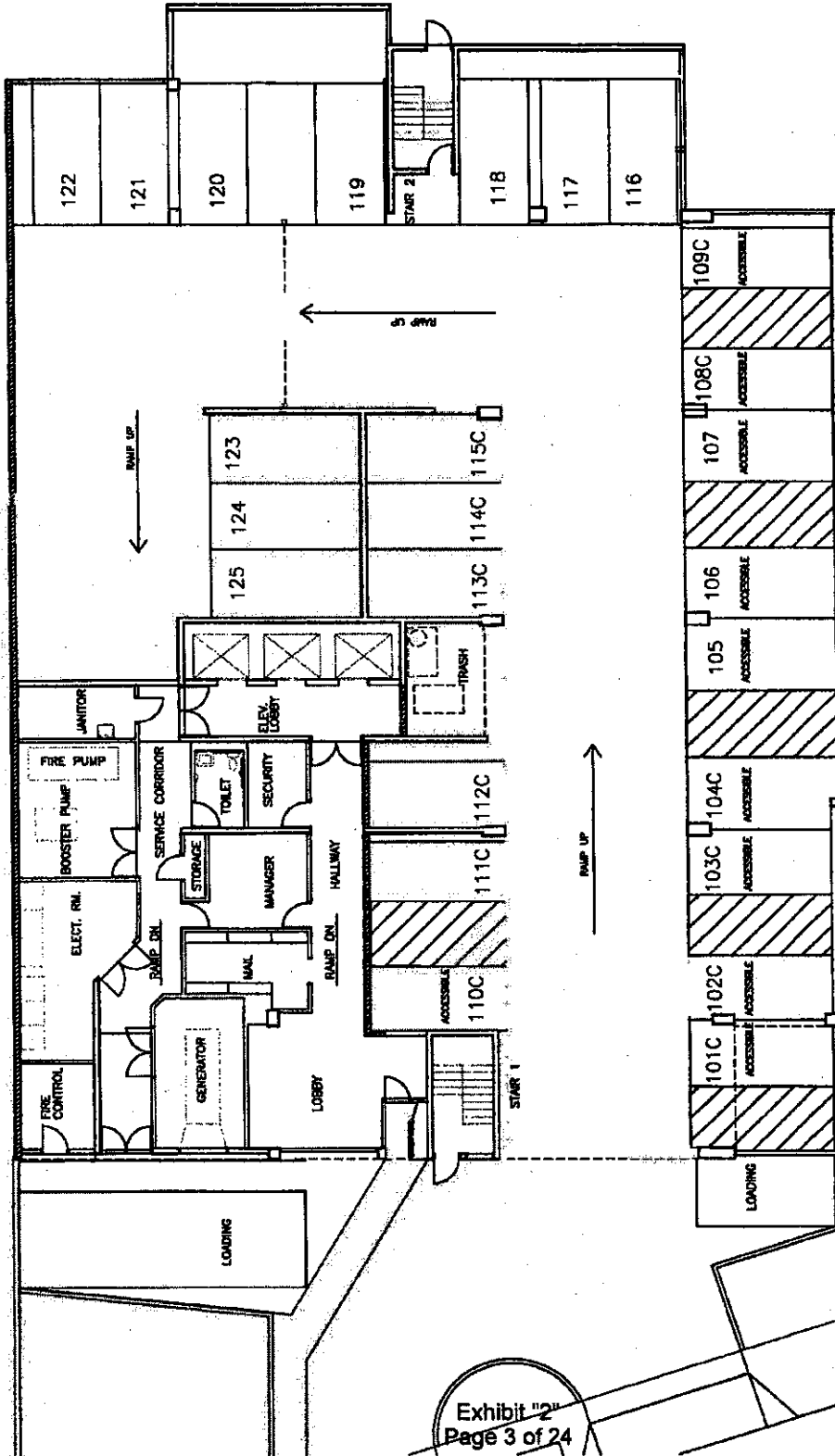


KALAKAUA AVE.



Exhibit 2  
 SITE PLAN  
 NOT TO SCALE  
 Page 2 of 24

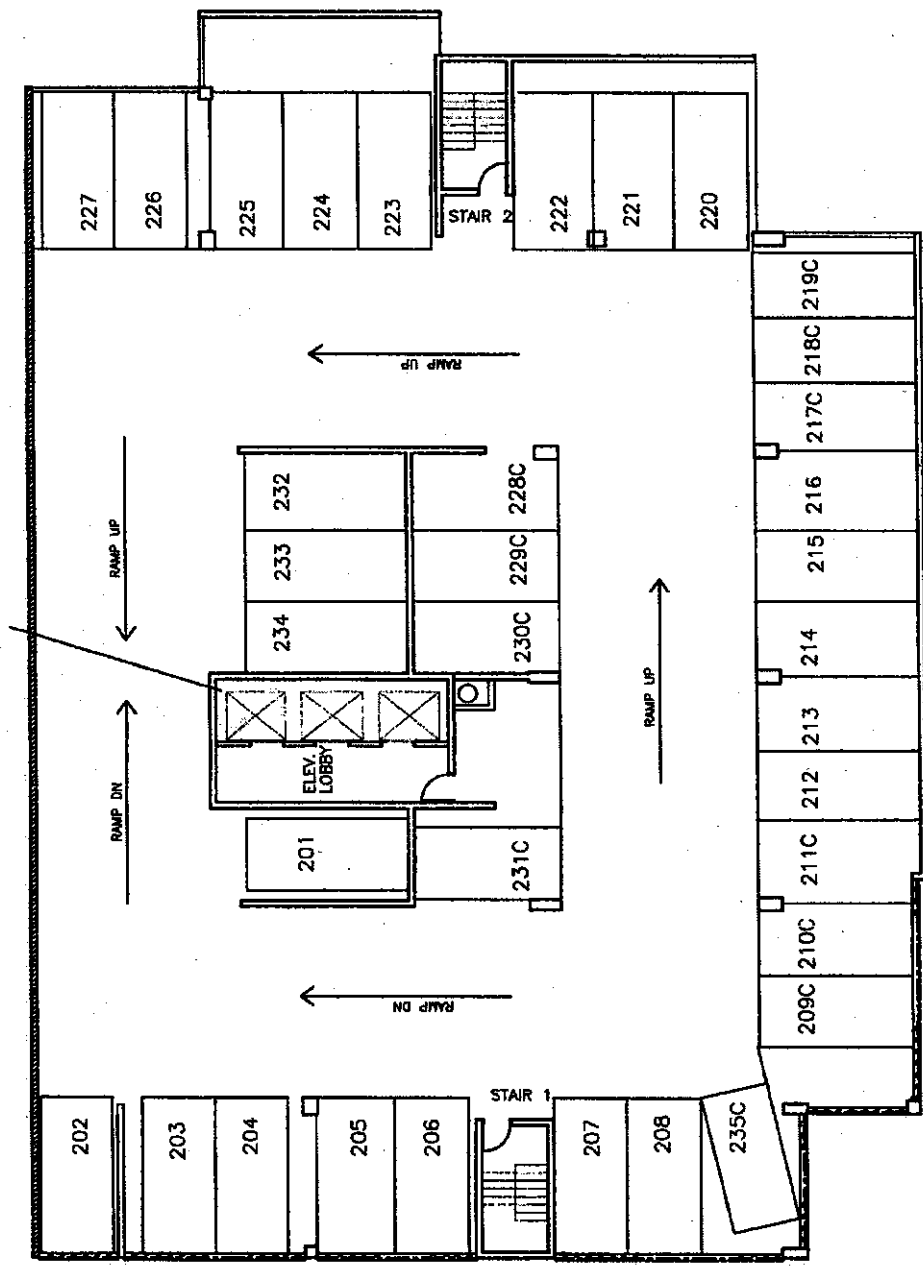
UNIT TABULATION			
UNIT	SIZE(SF)	LANAI(SF)	NO. OF UNITS
804	739		1
806	744		1
808	752		1
01	546	38	16
02	354	32	6
03	693	42	6
04	739	42	6
05	701	37	6
06	744	50	6
07	619	38	6
08	754	30	6
09	513	33	6
10	705		1
11			1
			<b>TOTAL = 176</b>



GROUND FLOOR PLAN  
NOT TO SCALE

CONDO MAP - HOLOMUA - SHEET 2 - GROUND FLOOR PLAN

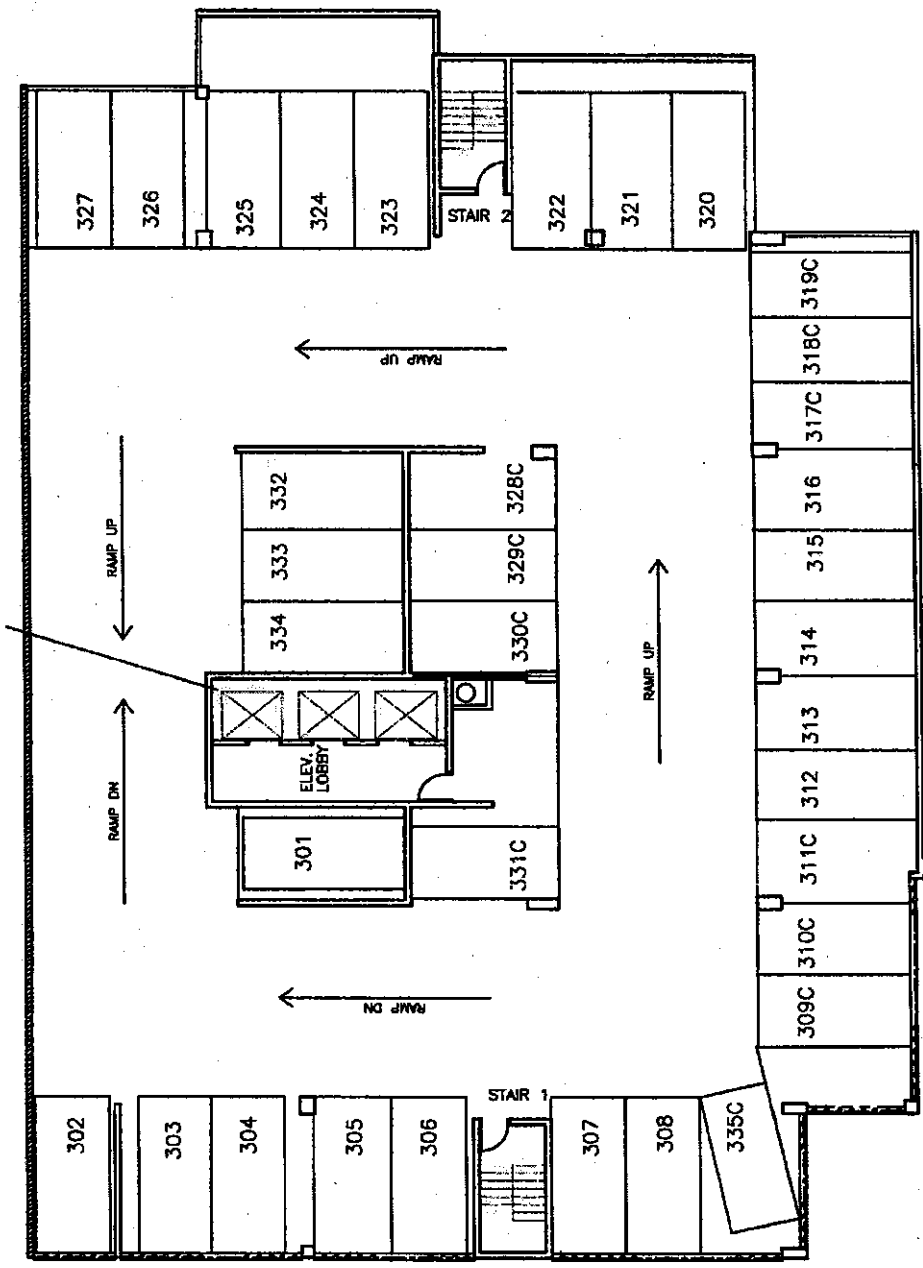
5/19/09



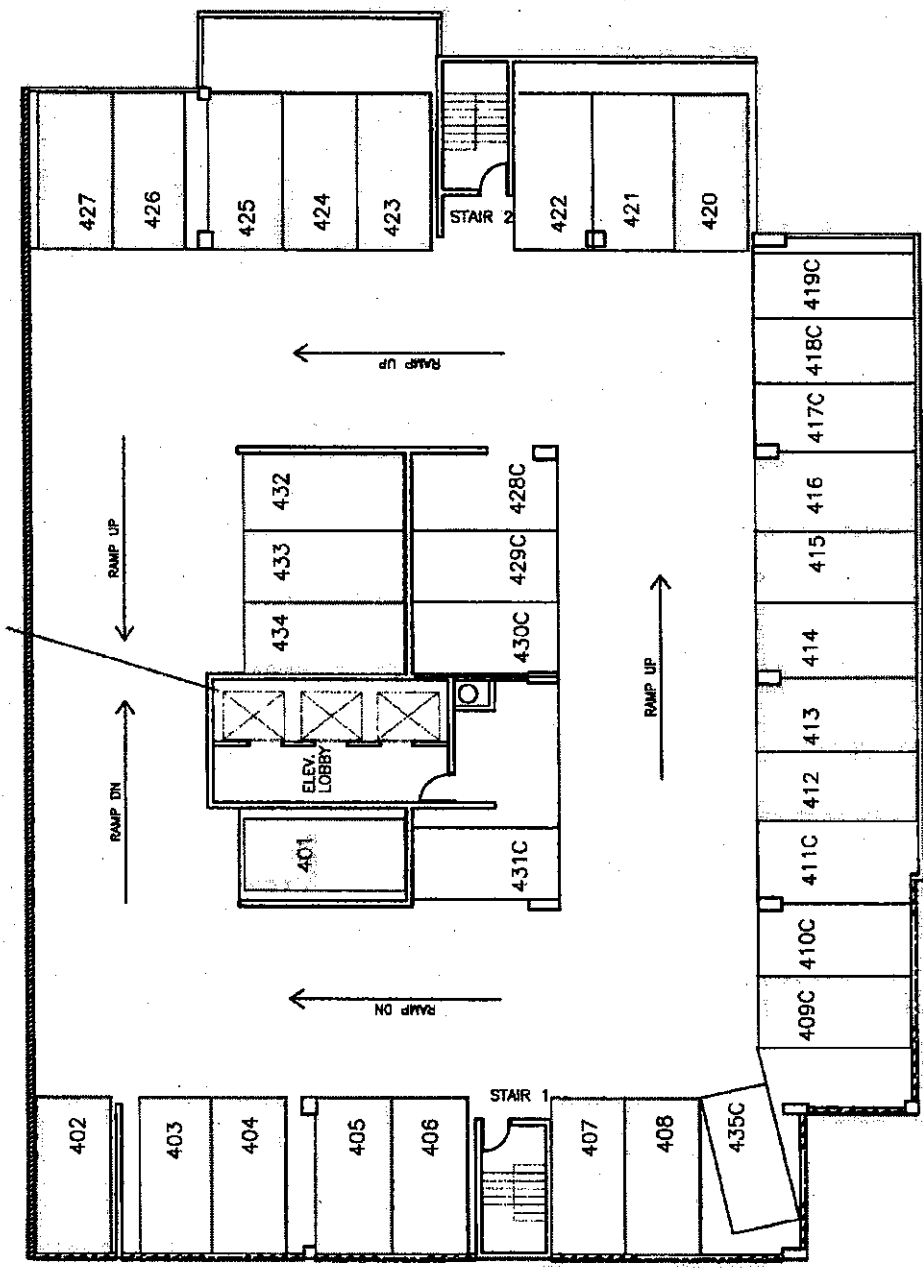
PARKING LEVEL	TABULATION		*ACCESSIBLE TOTAL		TOTAL
	REGULAR	COMPACT	REGULAR	COMPACT	
GROUND	10	5	10	25	
P2	24	11	0	35	
P3	24	11	0	35	
P4	24	11	0	35	
P5	24	11	0	35	
P6	24	11	0	35	
P7	8	3	-	11	
	138	63	10	211	

P2 PARKING LEVEL PLAN  
NOT TO SCALE

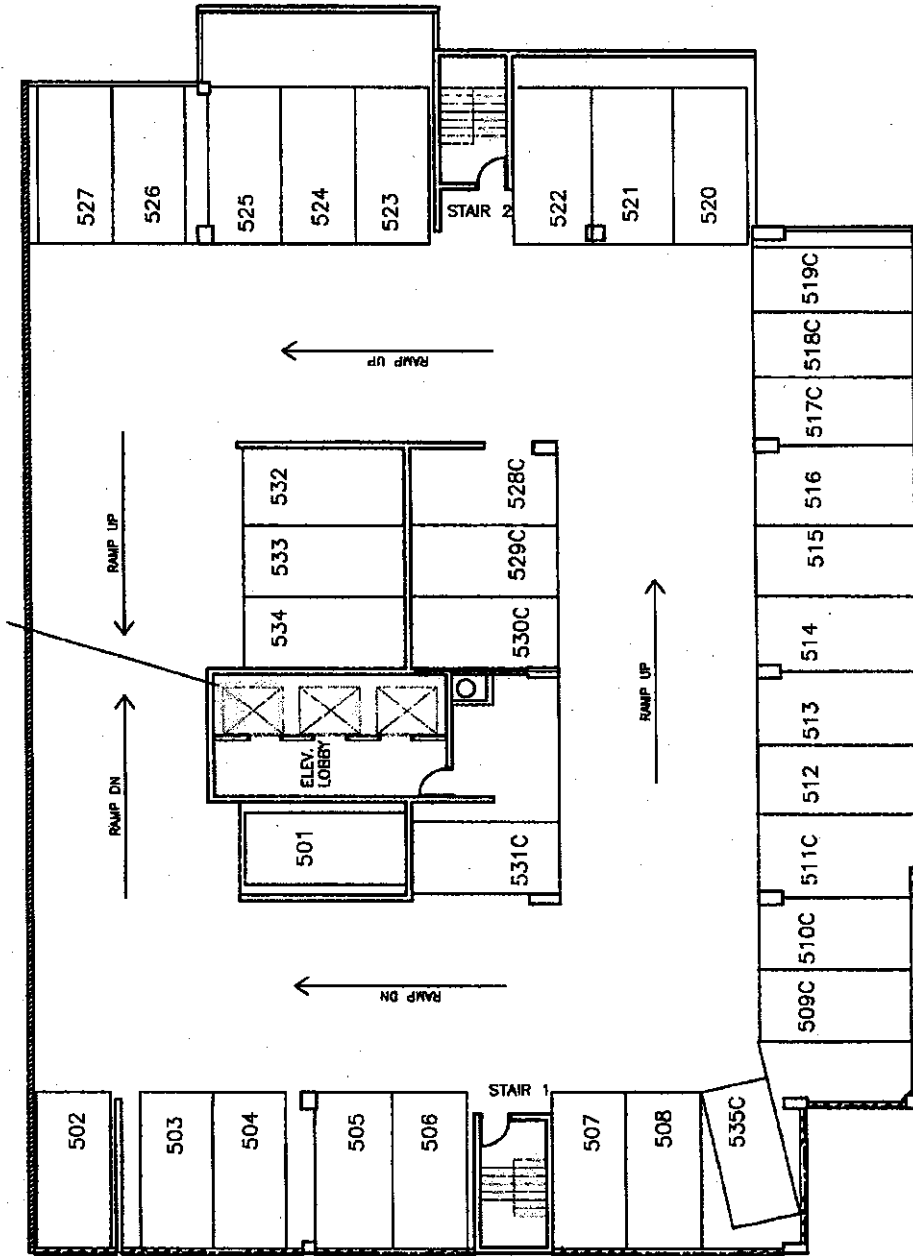
\* OF THE 10 ACCESSIBLE STALLS, 7 ARE COMPACT AS WELL



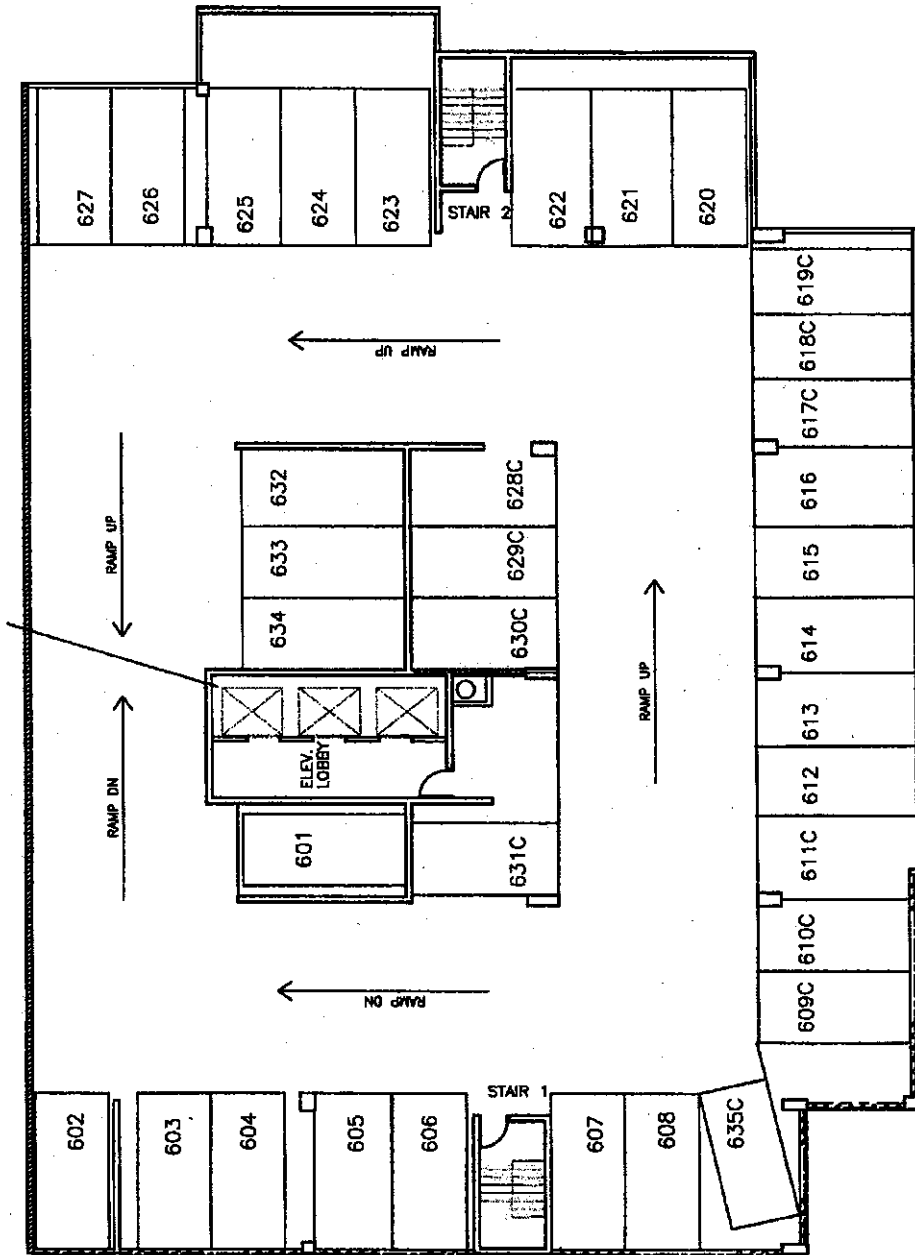
P3 PARKING LEVEL PLAN  
NOT TO SCALE



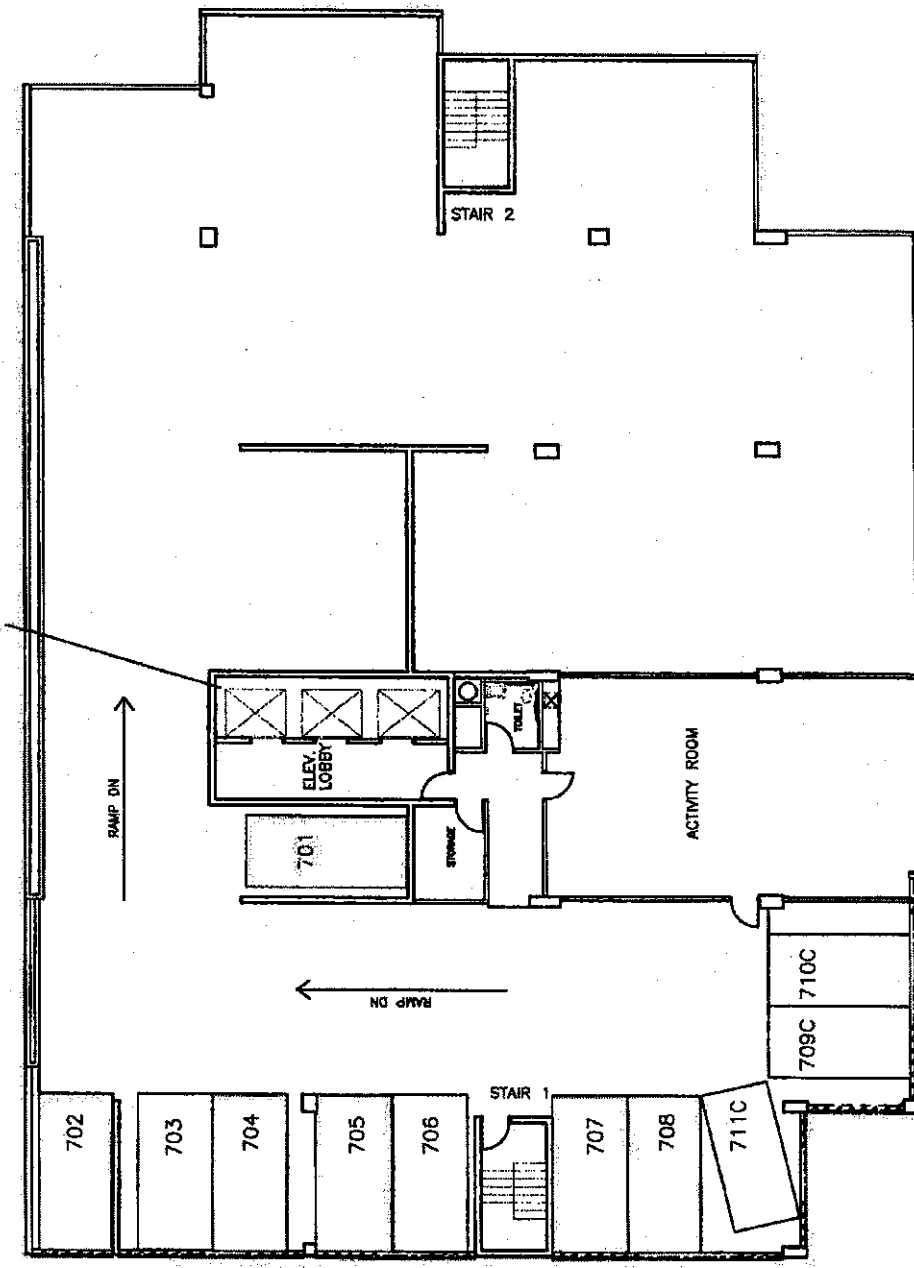
P4 PARKING LEVEL PLAN  
NOT TO SCALE



P5 PARKING LEVEL PLAN  
NOT TO SCALE



P6 PARKING LEVEL PLAN  
NOT TO SCALE

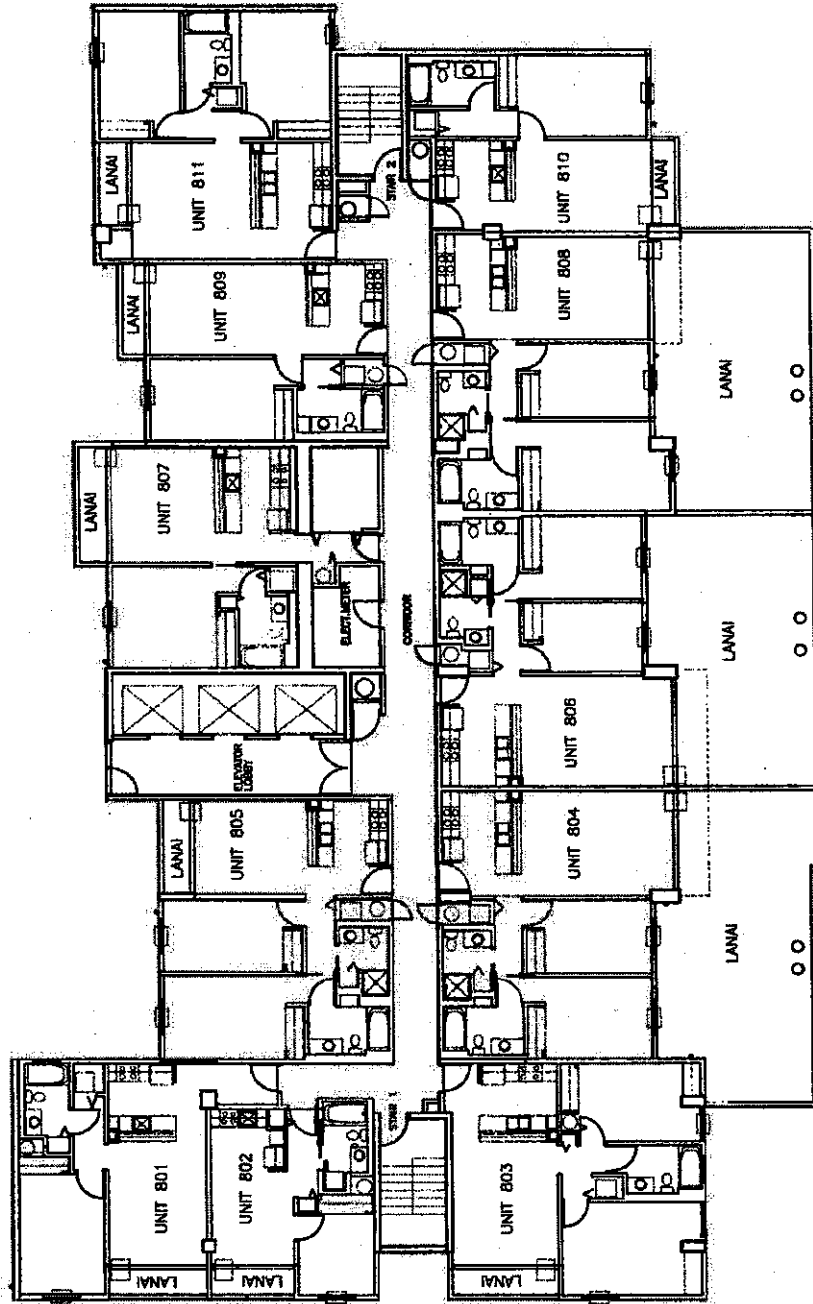


P7 PARKING LEVEL PLAN  
NOT TO SCALE

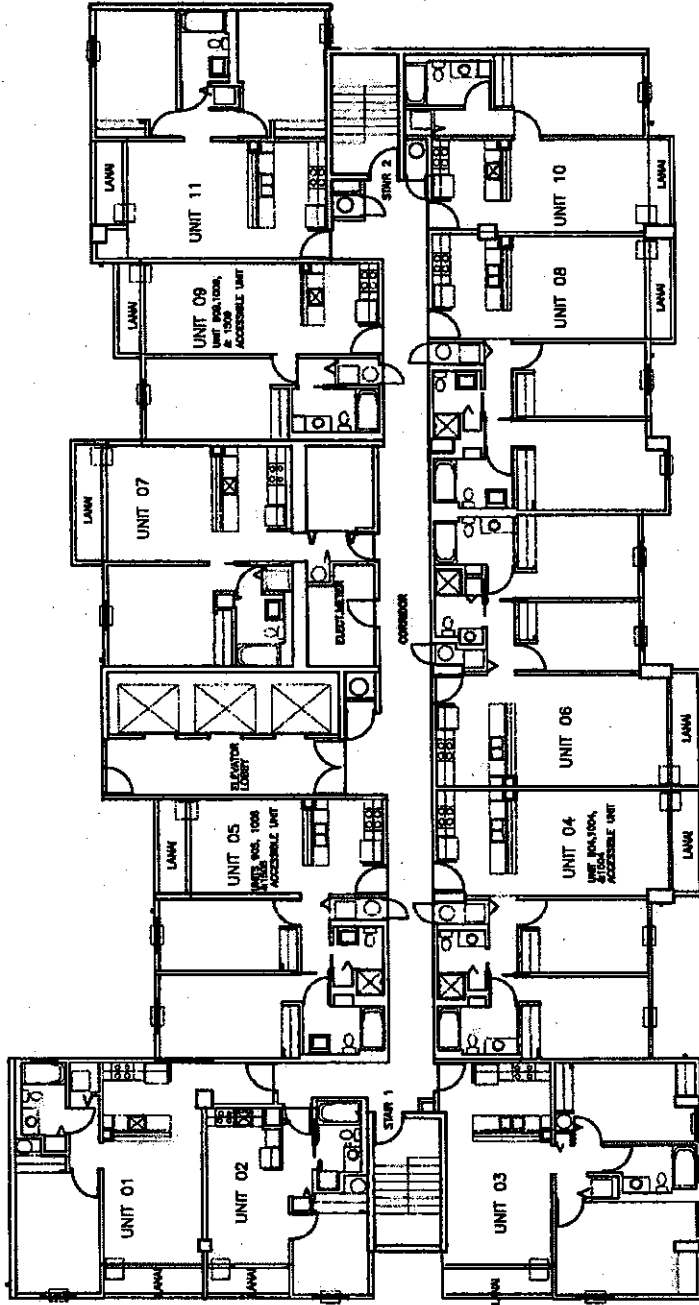
CONDO MAP - HOI OMIIA - SHEET 8 - P7 PARKING I FIVEI PLAN

5/19/09

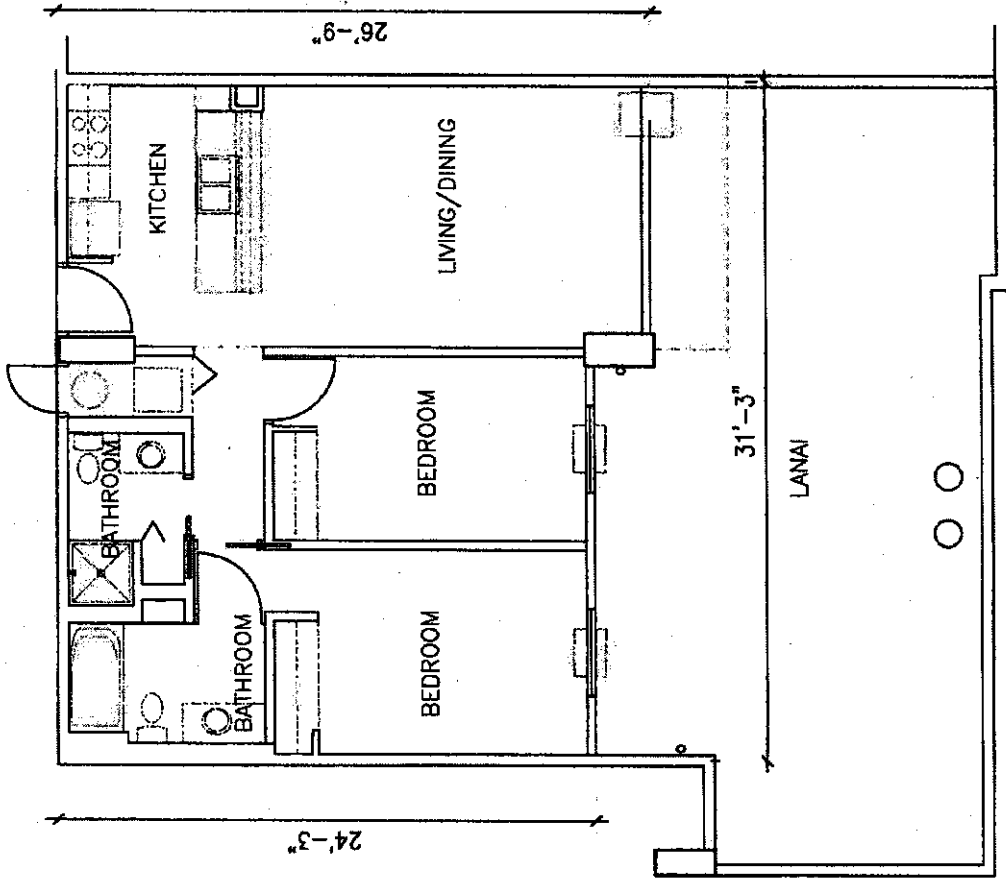




8TH FLOOR PLAN  
NOT TO SCALE



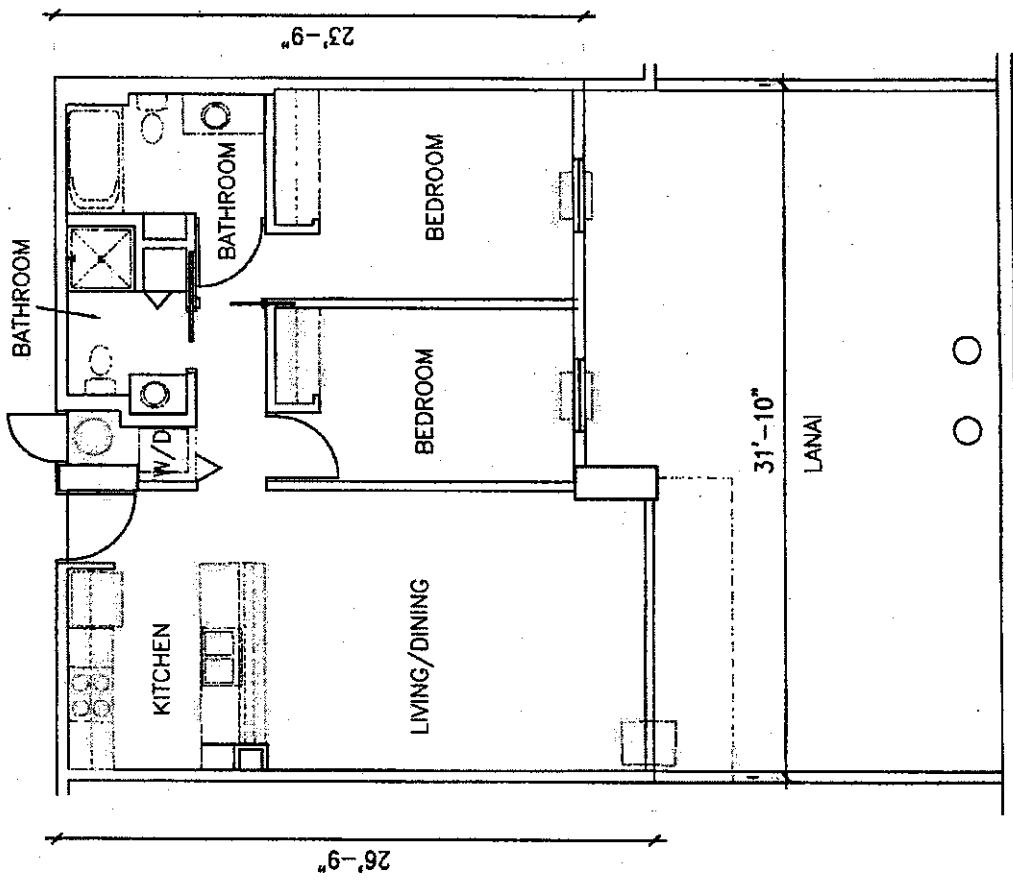
TYPICAL FLOOR PLAN - FLOORS 9-12 & 14-24  
NOT TO SCALE



**FLOOR PLAN— UNIT 804**

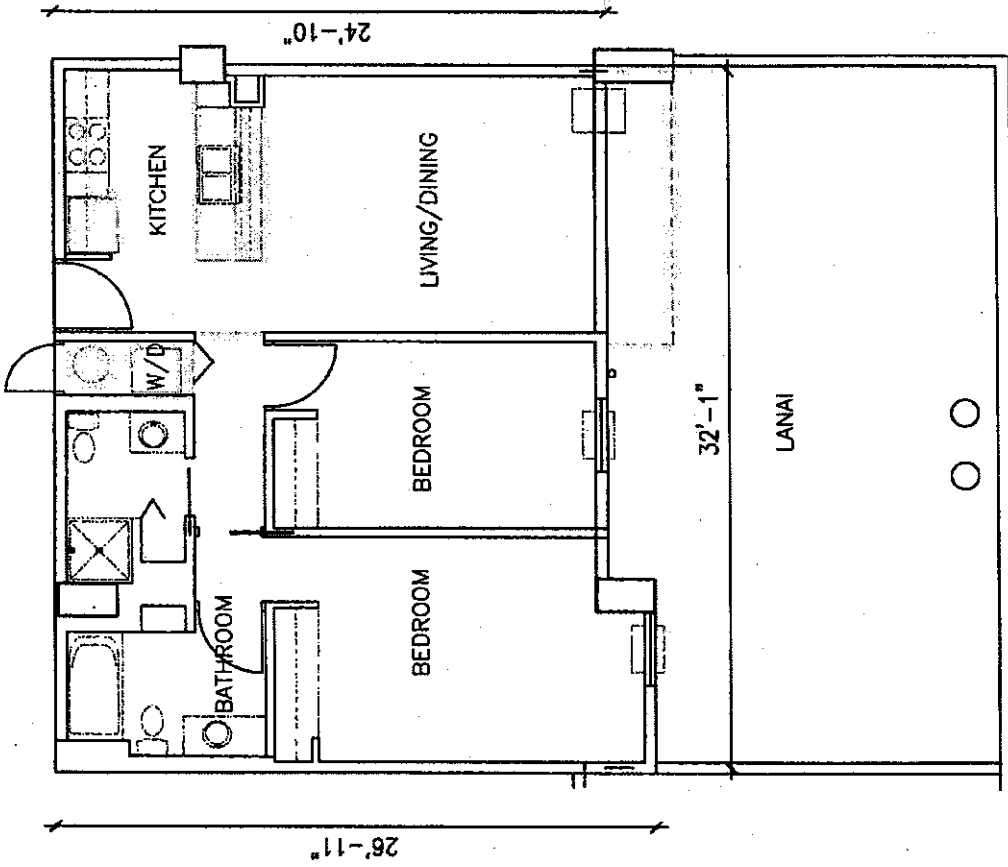
NOT TO SCALE

UNIT AREA TABULATION		
UNIT	APPROXIMATE UNIT AREA (SQ.FT.)	APPROXIMATE LANAI AREA (SQ.FT.)
804	739	569



FLOOR PLAN—UNIT 806  
NOT TO SCALE

UNIT AREA TABULATION		
UNIT	APPROXIMATE UNIT AREA (SQ.FT.)	APPROXIMATE LANAI AREA (SQ.FT.)
806	744	538

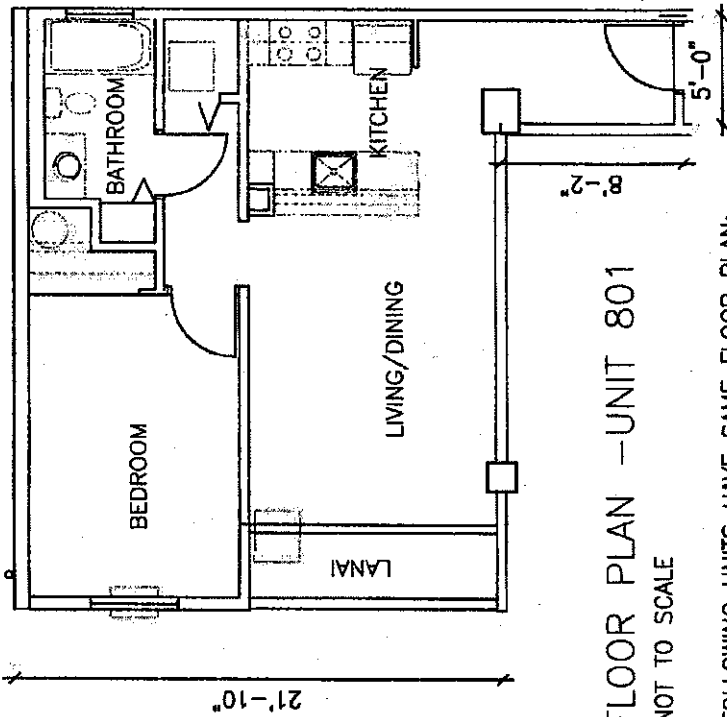


FLOOR PLAN - UNIT 808

NOT TO SCALE

UNIT AREA TABULATION		
UNIT	APPROXIMATE UNIT AREA (SQ.FT.)	APPROXIMATE LANAI AREA (SQ.FT.)
808	752	540

27'-8"



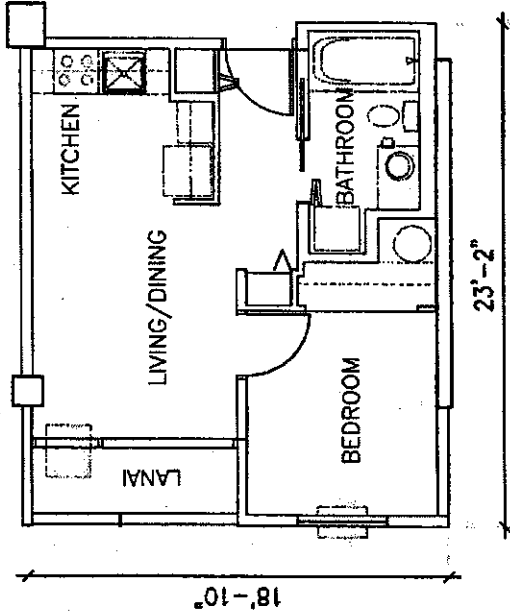
FLOOR PLAN - UNIT 801

NOT TO SCALE

FOLLOWING UNITS HAVE SAME FLOOR PLAN:

- 901,1001,1101,1201,1401,1501,1601,1701,1801,1901
- 2001,2101,2201,2301,2401

UNIT AREA TABULATION	
UNIT	APPROXIMATE UNIT AREA (SQ.FT.) LANAI AREA (SQ.FT.)
01	546 38



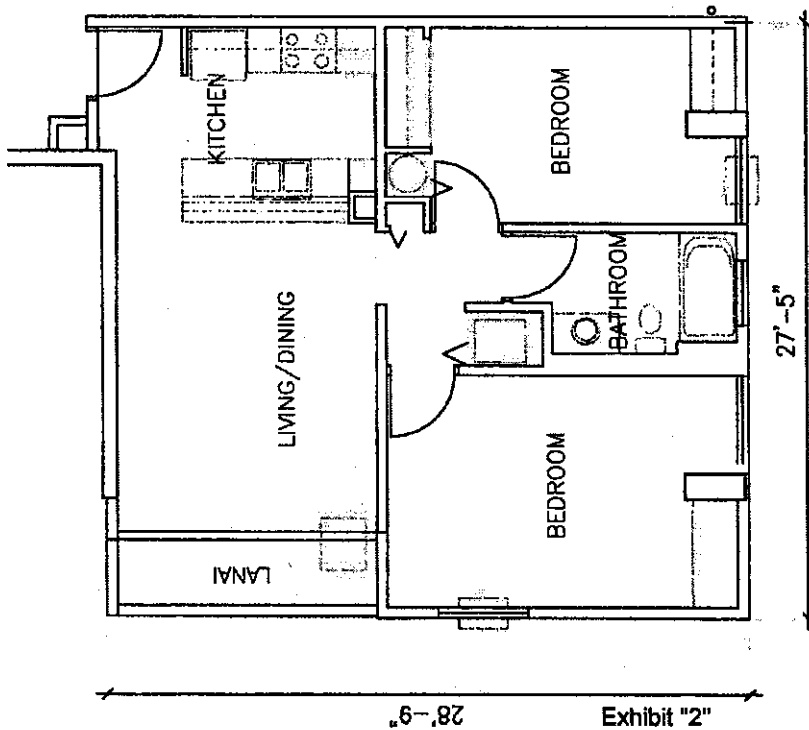
FLOOR PLAN - UNIT 802

NOT TO SCALE

FOLLOWING UNITS HAVE SAME FLOOR PLAN :

- 902,1002,1102,1202,1402,1502,1602,1702,1802,1902
- 2002,2102,2202,2302,2402

UNIT AREA TABULATION	
UNIT	APPROXIMATE UNIT AREA (SQ.FT.) APPROXIMATE LANAI AREA (SQ.FT.)
02	354 32

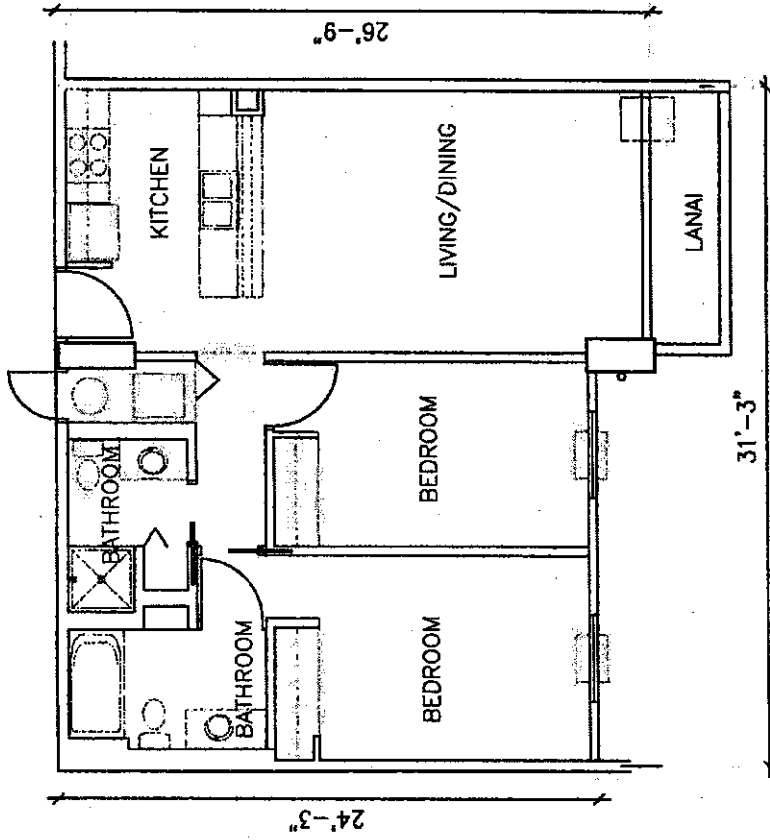


FLOOR PLAN—UNIT 803

NOT TO SCALE

FOLLOWING UNITS HAVE SAME FLOOR PLAN:  
 903, 1003, 1103, 1203, 1403, 1503, 1603, 1703, 1803, 1903,  
 2003, 2103, 2203, 2303, 2403

UNIT AREA TABULATION		
UNIT	APPROXIMATE UNIT AREA (SQ.FT.)	APPROXIMATE LANAI AREA (SQ.FT.)
03	693	42

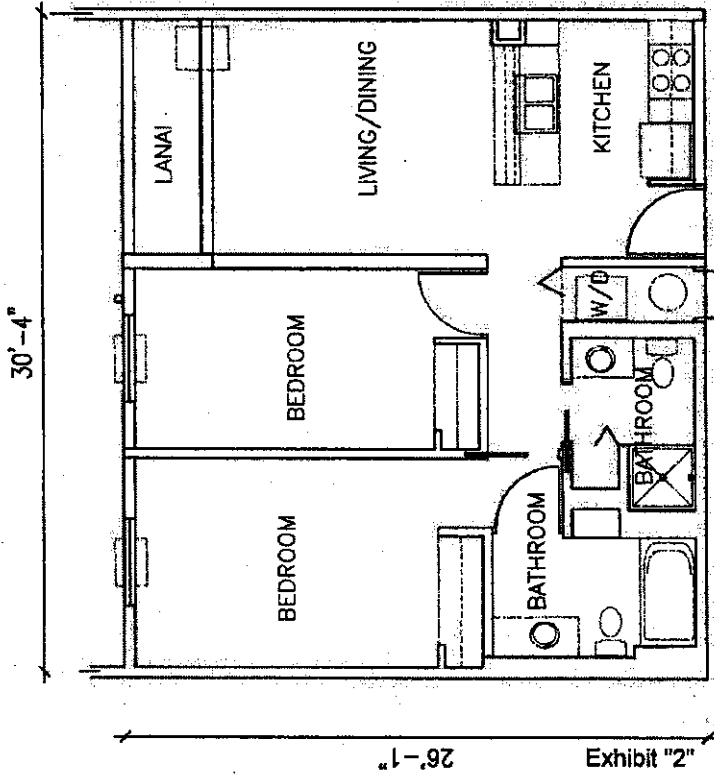


FLOOR PLAN— UNIT 1104

NOT TO SCALE

FOLLOWING UNITS HAVE SAME FLOOR PLAN:  
 1204, 1404, 1604, 1704, 1804, 1904,  
 2004, 2104, 2204, 2304, 2404

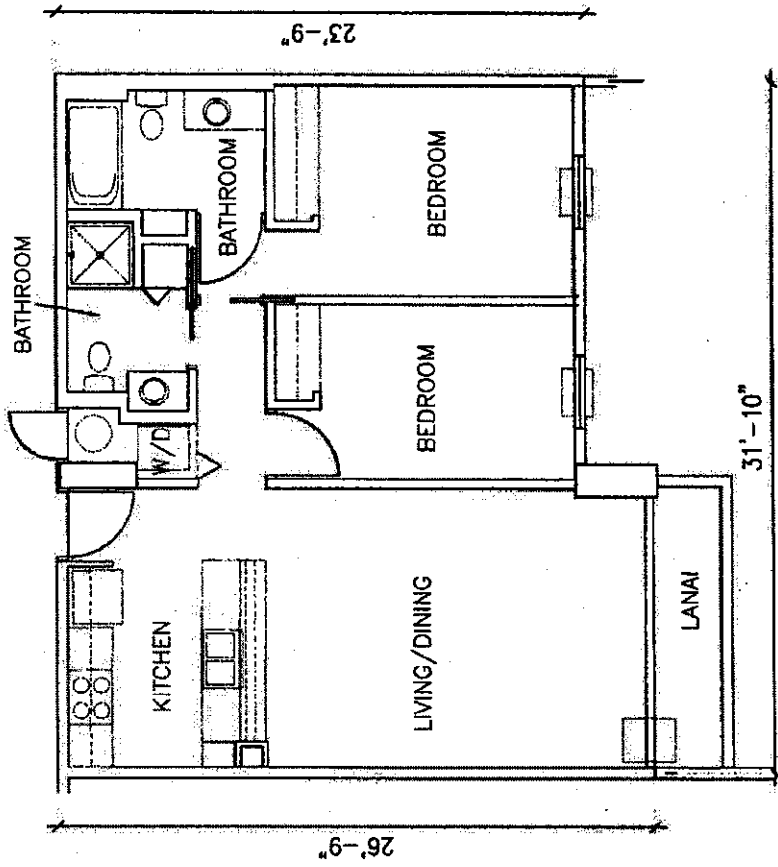
UNIT AREA TABULATION		
UNIT	APPROXIMATE UNIT AREA (SQ.FT.)	APPROXIMATE LANAI AREA (SQ.FT.)
04	739	42



FLOOR PLAN - UNIT 805  
NOT TO SCALE

FOLLOWING UNITS HAVE SAME FLOOR PLAN:  
1105, 1205, 1405, 1605, 1705, 1805, 1905,  
2005, 2105, 2205, 2305, 2405

UNIT AREA TABULATION		
UNIT	APPROXIMATE UNIT AREA (SQ.FT.)	APPROXIMATE LANAI AREA (SQ.FT.)
05	701	37

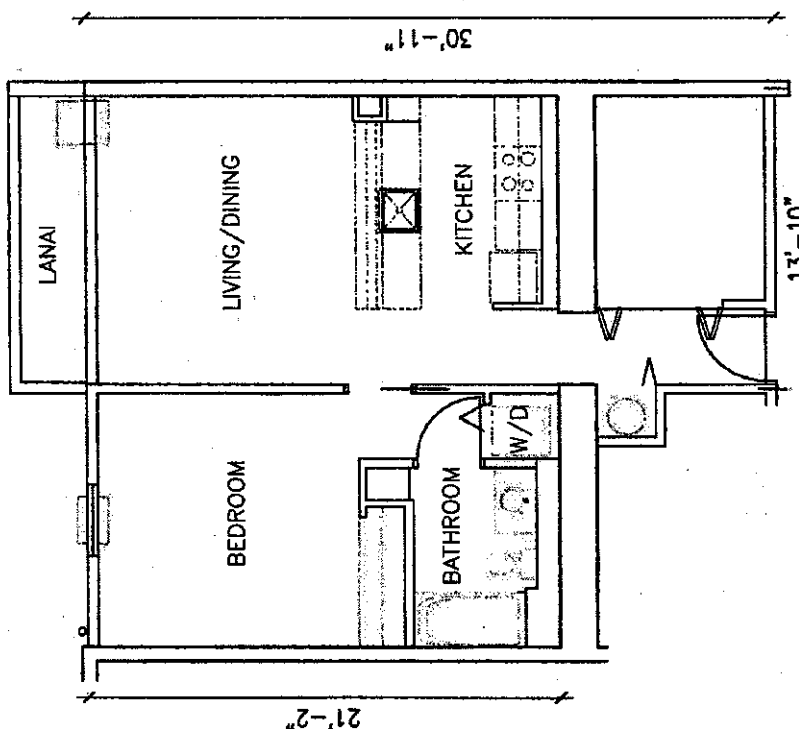


FLOOR PLAN - UNIT 906  
NOT TO SCALE

FOLLOWING UNITS HAVE SAME FLOOR PLAN:  
1006, 1106, 1206, 1406, 1506, 1606, 1706, 1806, 1906,  
2006, 2106, 2206, 2306, 2406

UNIT AREA TABULATION		
UNIT	APPROXIMATE UNIT AREA (SQ.FT.)	APPROXIMATE LANAI AREA (SQ.FT.)
06	744	47



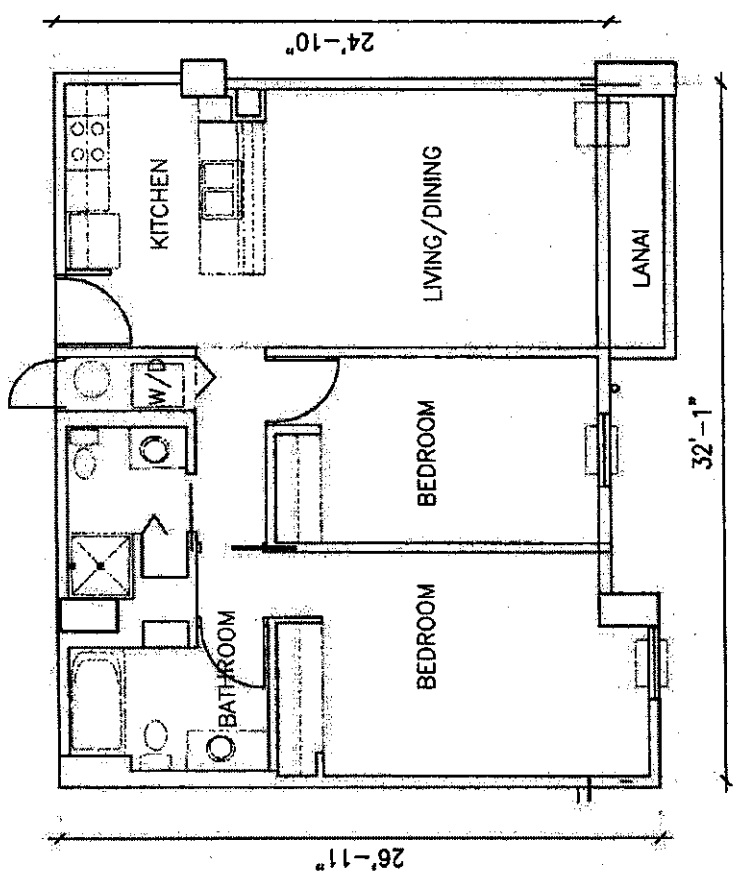


**FLOOR PLAN - UNIT 807**

NOT TO SCALE

FOLLOWING UNITS HAVE SAME FLOOR PLAN:  
 907, 1007, 1107, 1207, 1407, 1507, 1607, 1707, 1807, 1907,  
 2007, 2107, 2207, 2307, 2407

UNIT AREA TABULATION		
UNIT	APPROXIMATE UNIT AREA (SQ.FT.)	APPROXIMATE LANAI AREA (SQ.FT.)
07	619	50

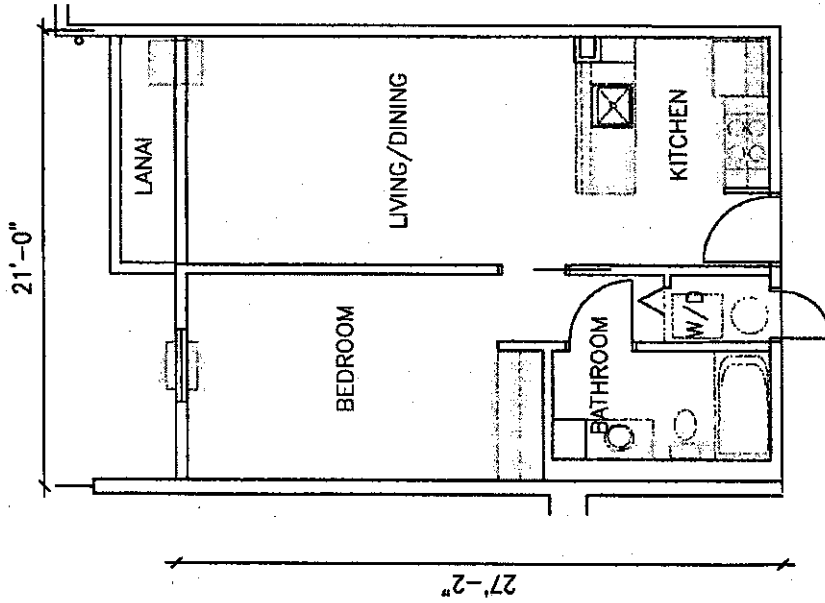


**FLOOR PLAN - UNIT 908**

NOT TO SCALE

FOLLOWING UNITS HAVE SAME FLOOR PLAN:  
 1008, 1108, 1208, 1408, 1508, 1608, 1708, 1808, 1908,  
 2008, 2108, 2208, 2308, 2408

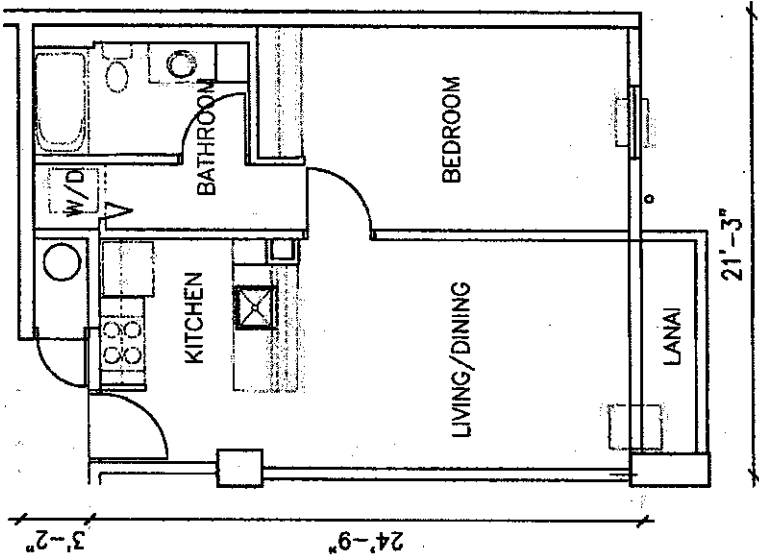
UNIT AREA TABULATION		
UNIT	APPROXIMATE UNIT AREA (SQ.FT.)	APPROXIMATE LANAI AREA (SQ.FT.)
08	752	36



FLOOR PLAN - UNIT 809  
NOT TO SCALE

FOLLOWING UNITS HAVE SAME FLOOR PLAN:  
1109, 1209, 1409, 1609, 1709, 1809, 1909,  
2009, 2109, 2209, 2309, 2409

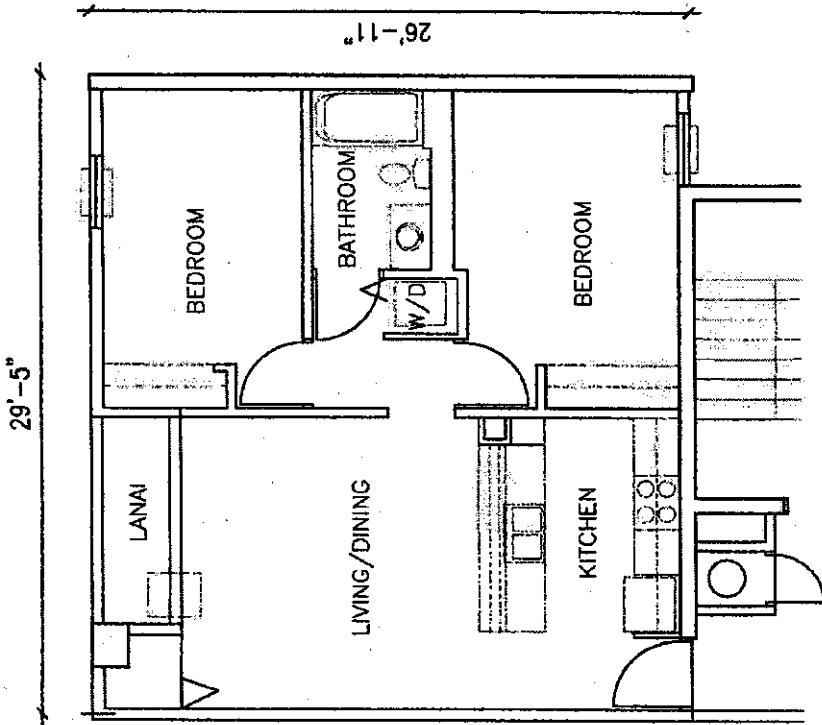
UNIT AREA TABULATION		
UNIT	APPROXIMATE UNIT AREA (SQ.FT.)	APPROXIMATE LANAI AREA (SQ.FT.)
09	524	38



FLOOR PLAN - UNIT 810  
NOT TO SCALE

FOLLOWING UNITS HAVE SAME FLOOR PLAN:  
910, 1010, 1110, 1210, 1410, 1510, 1610, 1710, 1810, 1910,  
2010, 2110, 2210, 2310, 2410

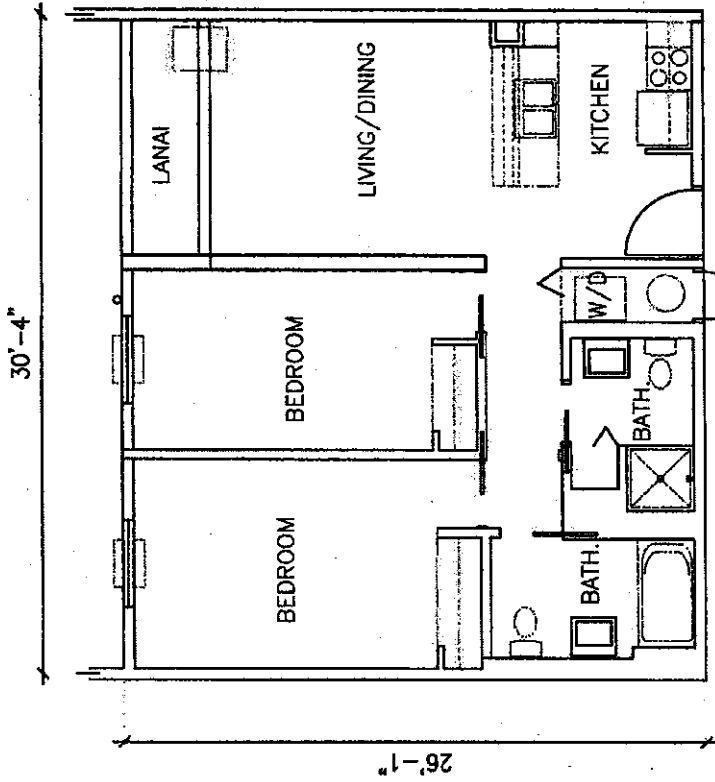
UNIT AREA TABULATION		
UNIT	APPROXIMATE UNIT AREA (SQ.FT.)	APPROXIMATE LANAI AREA (SQ.FT.)
10	513	30



FLOOR PLAN— UNIT 811  
NOT TO SCALE

FOLLOWING UNITS HAVE SAME FLOOR PLAN:  
911,1011,1101,1211,1411,1511,1611,1711,1811,1911,  
2011,2111,2211,2311,2411

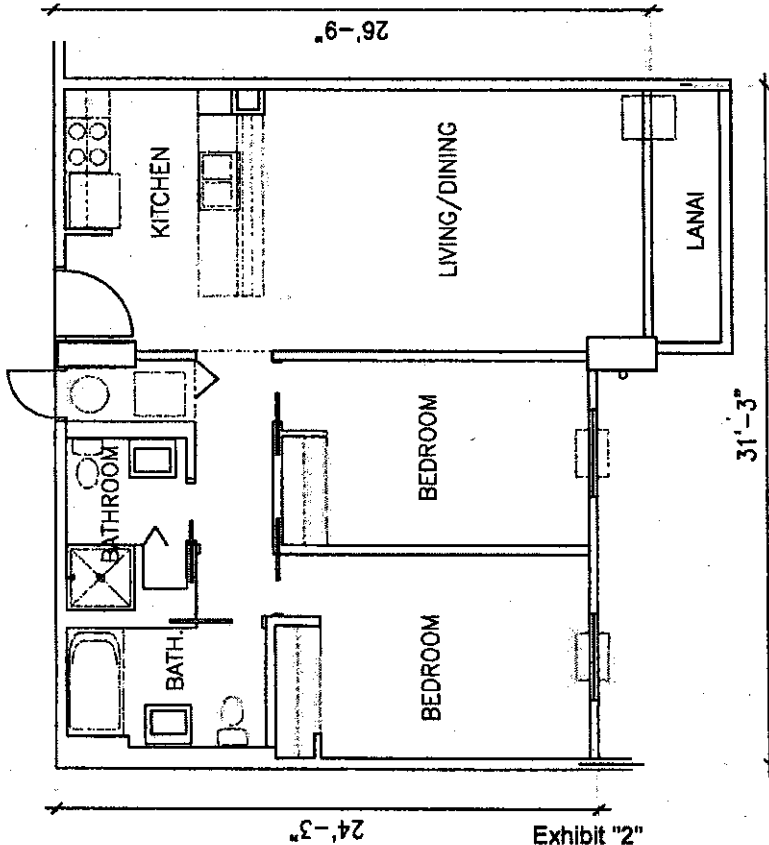
UNIT AREA TABULATION		
UNIT	APPROXIMATE UNIT AREA (SQ.FT.)	APPROXIMATE LANAI AREA (SQ.FT.)
11	705	33



FLOOR PLAN— UNIT 905  
NOT TO SCALE

UNITS 1005 & 1505 HAVE SAME FLOOR PLAN

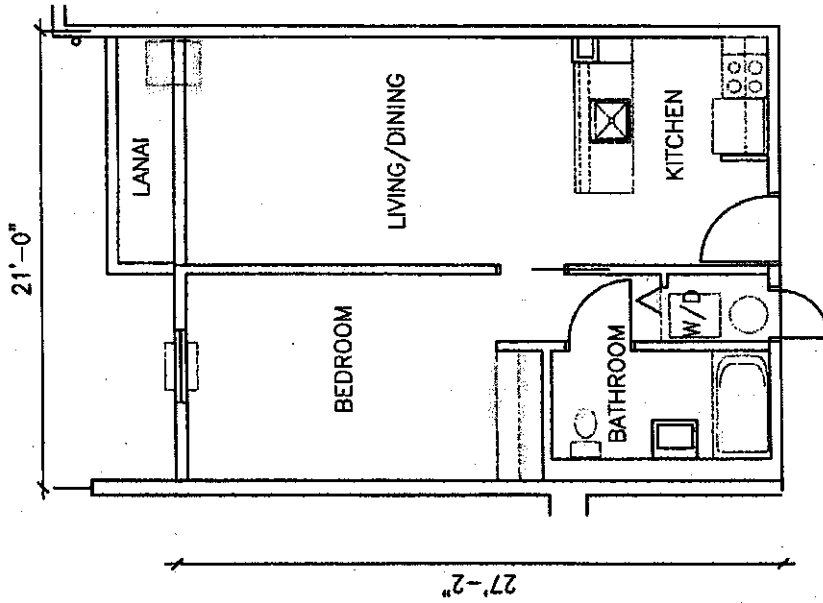
UNIT AREA TABULATION		
UNIT	APPROXIMATE UNIT AREA (SQ.FT.)	APPROXIMATE LANAI AREA (SQ.FT.)
05	701	37



FLOOR PLAN— UNIT 904  
NOT TO SCALE

UNITS 1004 & 1504 HAVE SAME FLOOR PLAN

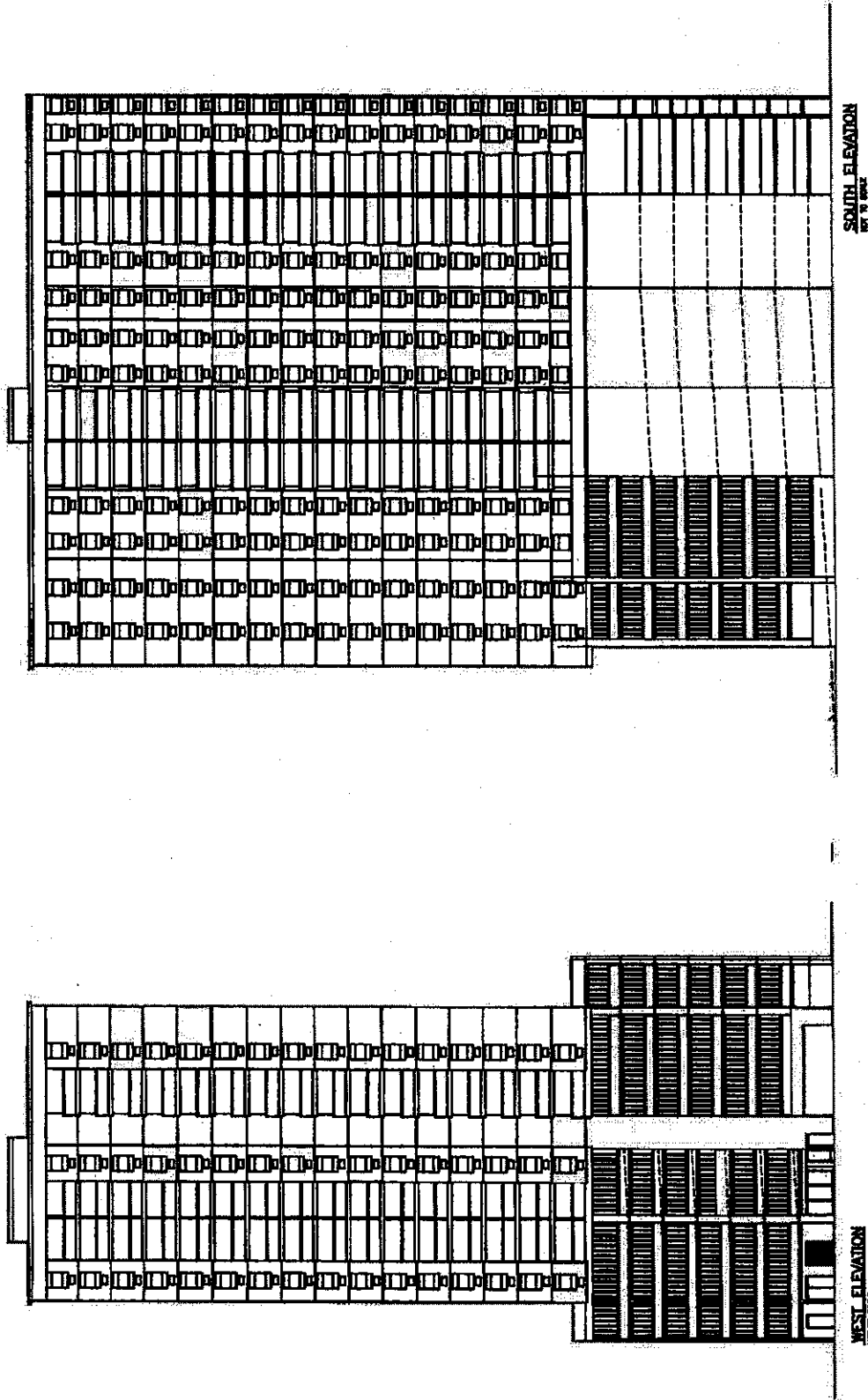
UNIT AREA TABULATION		
UNIT	APPROXIMATE UNIT AREA (SQ.FT.)	APPROXIMATE LANAI AREA (SQ.FT.)
04	739	42



**FLOOR PLAN - UNIT 909**  
 NOT TO SCALE

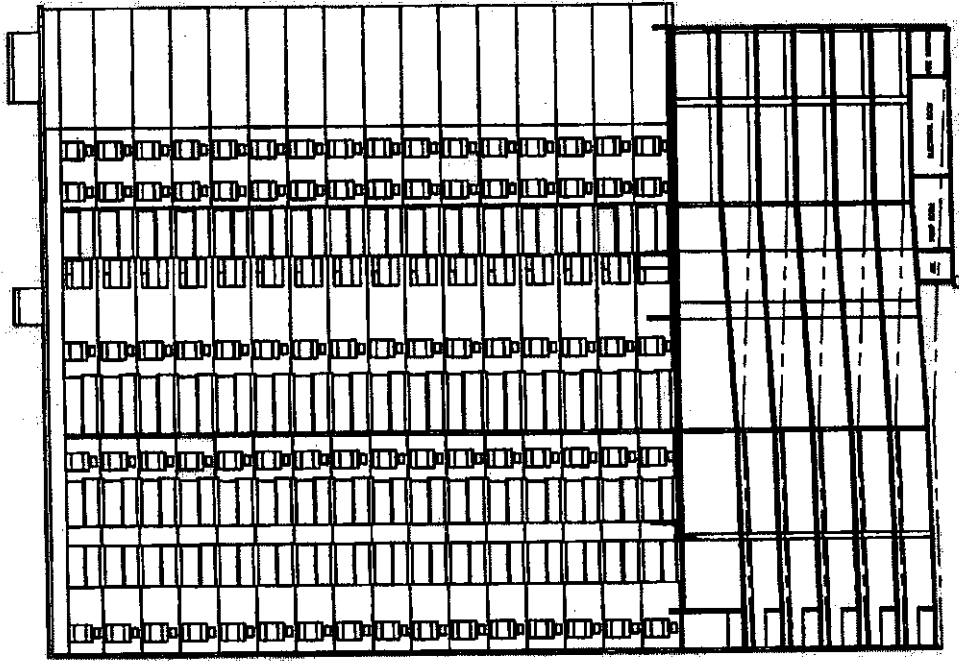
UNITS 1009 & 1509 HAVE THE SAME FLOOR PLAN

UNIT AREA TABULATION		
UNIT	APPROXIMATE UNIT AREA (SQ.FT.)	APPROXIMATE LANAI AREA (SQ.FT.)
909	524	38

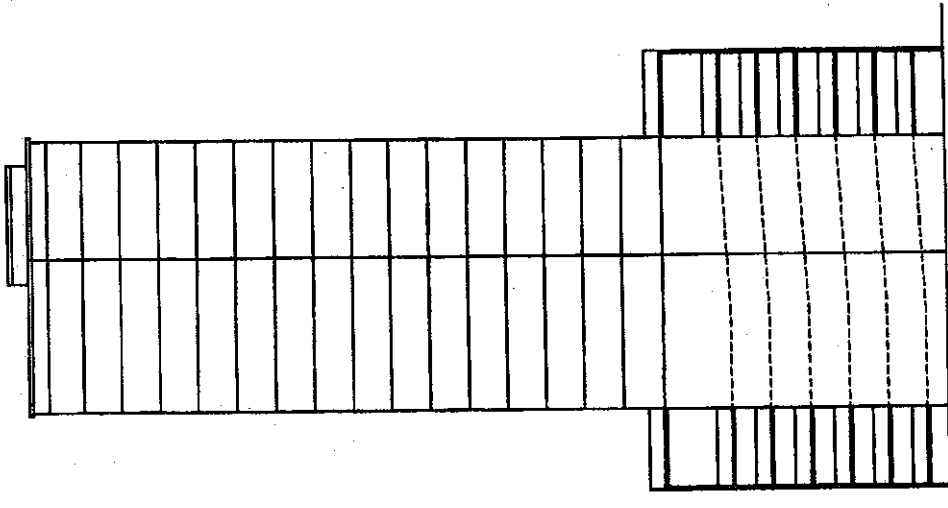


5/19/09

CONDO MAP - HOLOMUA - SHEET 22 - EXTERIOR ELEVATIONS - WEST & SOUTH



NORTH ELEVATION/SECTION  
NOT TO SCALE



EAST ELEVATION  
NOT TO SCALE